



## 44 Doveleys Road Salford M6 7FT

### Offers in the region of £239,950

OFFERED WITH NO VENDOR CHAIN! HOME ESTATE AGENTS are delighted to offer for sale this much loved, three bedroom semi detached property located in a popular Salford position. The property comprises hallway, lounge, rear sitting/dining room, fitted kitchen, shaped landing, three bedrooms, useful boarded loft area and fitted shower room. The property boasts gas central heating and double glazed. Externally to the front there is a paved garden area, generous driveway providing off road parking which leads to the single garage (with power and lighting) and further paved garden with mature trees providing privacy. The property is well positioned for access to Pendleton Sixth Form College and links to Manchester City Centre. Ideally offered with NO VENDOR CHAIN! Call HOME on 01617898383 to arrange your viewing.

- NO VENDOR CHAIN!
- Three bedroom semi detached family home
- Hallway with storage
- Bay-fronted lounge
- Rear sitting/dining room
- Fitted kitchen
- Three bedrooms
- Useful loft area - boarded for storage
- Fitted shower room
- Gardens front and rear along with garage



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### Hallway

Composite door to front, stairs to the first floor, understairs storage and single panel radiator.

### Lounge 13'9 x 12'3 (4.19m x 3.73m)

uPVC double glazed bay window to front, living flame gas fire, television point and double panel radiator.

### Rear sitting/dining room 12'6 x 11'1 (3.81m x 3.38m)

uPVC double glazed window to the rear, television point, gas fire and single panel radiator.

### Kitchen 8'9 x 7'1 (2.67m x 2.16m)

Fitted with wall and base units, roll edge worktops, space for washing machine, space for undercounter fridge and space for cooker. Door to the rear and uPVC double glazed window to the side.

### Shaped landing

Open balustrade.

### Bedroom One 12'6 x 11'2 (3.81m x 3.40m)

uPVC double glazed and single panel radiator.

### Bedroom Two 12'5 x 11'4 (3.78m x 3.45m)

uPVC double glazed window to the rear, single panel radiator and loft access. Pull down loft ladder giving access to a boarded loft area for storage. The loft area also has a double glazed window to the side.

### Bedroom Three 9'0 x 7'3 (2.74m x 2.21m)

uPVC double glazed window to the rear and single panel radiator.

### Shower room 7'2 x 6'0 (2.18m x 1.83m)

Fitted with a three piece shower room comprising low level W/C, pedestal wash hand basin and shower cubicle. Tiled to complement and uPVC double glazed window to front.

### Sales info

We are advised that the property is Freehold.

We are advised that the current council tax band is band C.

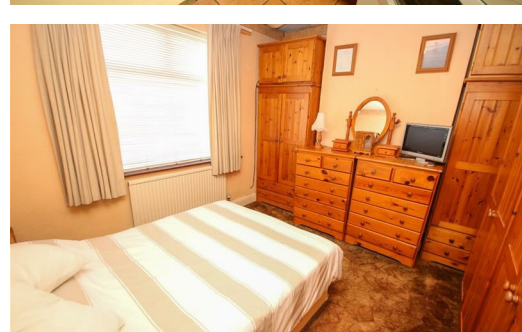
The current EPC rating is TBC.

### IMPORTANT INFORMATION -

PLEASE NOTE: Home Estate Agents have not tested the services and appliances described within this document (including central heating systems), and advise purchasers to have such items tested to their own satisfaction by a specialist. All sizes quoted are approximate.

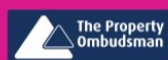
Making an offer: if you are interested in this property, please contact us at the earliest opportunity prior to contacting a bank, building society or solicitor. Failure to do so could result in the property being sold elsewhere and could result in you incurring unnecessary costs such as survey or legal fees. Most of our clients require us to advise them on the status of potential buyers, who make an

offer to purchase, therefore you are strongly advised to make an appointment at this stage.



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Registered Address Vantage House, East Terrace Business Park, Euxton Lane, Euxton PR7 6TB - England  
Company Registration numbers Monton - 9262084 Urmston - 04331861 Stretford - 08259553





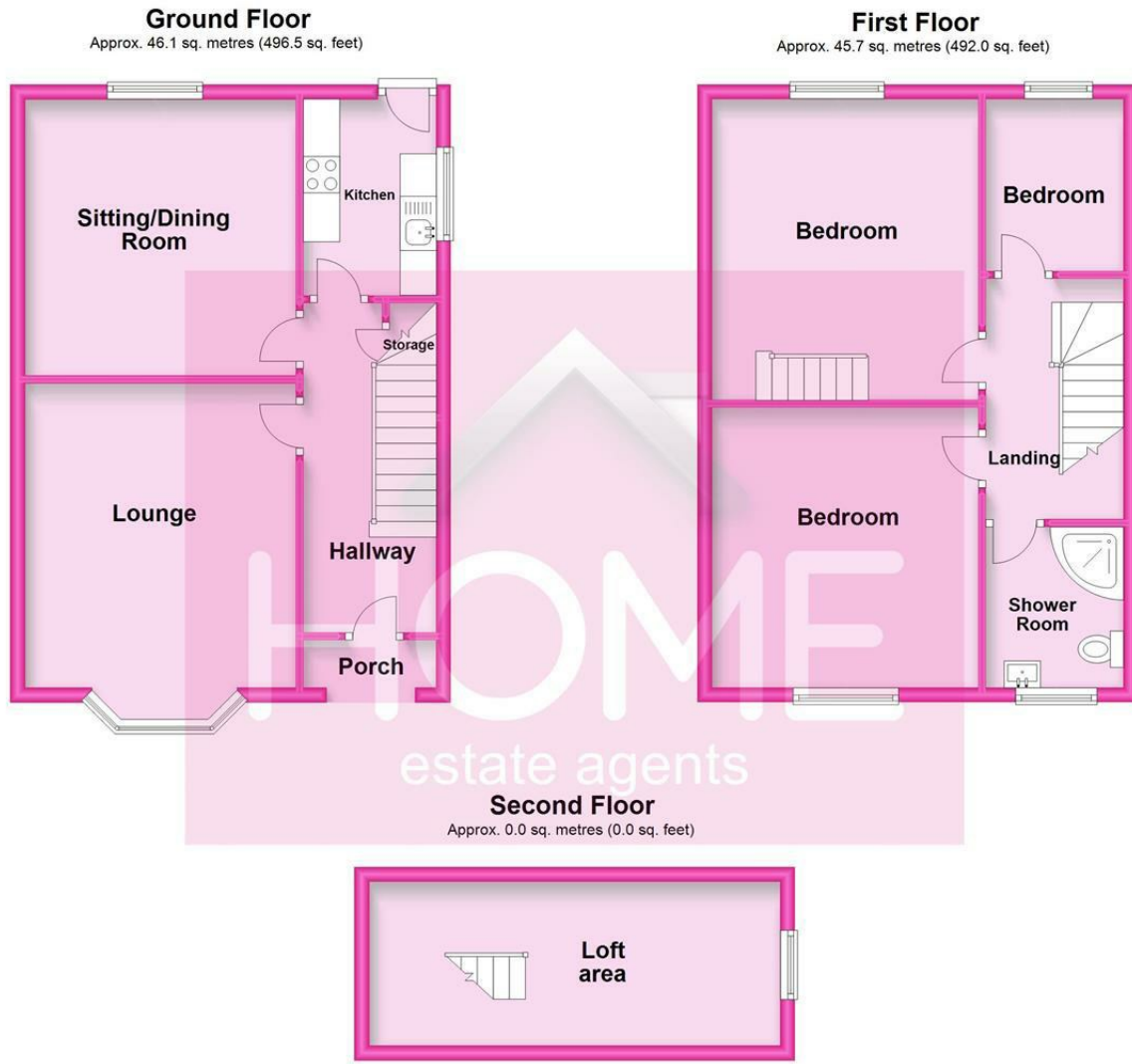
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Total area: approx. 91.8 sq. metres (988.5 sq. feet)

Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) <b>A</b>		
(81-91) <b>B</b>		
(69-80) <b>C</b>		
(55-68) <b>D</b>		
(39-54) <b>E</b>		
(21-38) <b>F</b>		
(1-20) <b>G</b>		
Not energy efficient - higher running costs		
<b>England &amp; Wales</b>	EU Directive 2002/91/EC	

Environmental Impact (CO <sub>2</sub> ) Rating		
	Current	Potential
Very environmentally friendly - lower CO <sub>2</sub> emissions		
(92 plus) <b>A</b>		
(81-91) <b>B</b>		
(69-80) <b>C</b>		
(55-68) <b>D</b>		
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Not environmentally friendly - higher CO <sub>2</sub> emissions		
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